



GAUTENG
LEGISLATURE
Your View ~ Our Vision

INVITATION TO BID

APPOINTMENT OF A SERVICE PROVIDER TO UNDERTAKE REMEDIAL WORKS TO THE ROOF CITY HALL BUILDING REHABILITATION OF CONCRETE & SHEETED ROOF PORTION FOR GAUTENG PROVINCIAL LEGISLATURE FOR A PERIOD 6 (SIX) MONTHS.

BID NO: GPL 017/2020

CLOSING DATE: 09 MARCH 2020

TIME: 11:00 AM

COMPULSORY BRIEFING SESSION

DATE: 21 FEBRUARY 2020

TIME: 11:00 AM

**VENUE: No. 10 Fraser Street, SAGE Building
(Corner Helen Joseph & Fraser Street)
1st floor SAGE CENTRE
JOHANNESBURG**



INVITATION TO BID (SBD1)

Section 1
(p.g. 2-3)

YOU ARE HEREBY INVITED TO BID FOR REQUIREMENTS OF THE GAUTENG PROVINCIAL LEGISLATURE (GPL)

BID NUMBER:	GPL 017/2020	CLOSING DATE:	09 MARCH 2020	CLOSING TIME:	11H00 AM
DESCRIPTION	APPOINTMENT OF A SERVICE PROVIDER TO UNDERTAKE REMEDIAL WORKS TO THE ROOF CITY HALL BUILDING REHABILITATION OF CONCRETE & SHEETED ROOF PORTION FOR GAUTENG PROVINCIAL LEGISLATURE FOR A PERIOD 6 (SIX) MONTHS.				

BID RESPONSE DOCUMENTS MAY BE DEPOSITED IN THE BID BOX SITUATED AT (STREET ADDRESS)

NO. 10 FRASER STREET, SAGE BUILDING (CORNER HELEN JOSEPH & FRASER STREET)
1ST FLOOR, SAGE CENTRE, JOHANNESBURG

SUPPLIER INFORMATION

NAME OF BIDDER			
POSTAL ADDRESS			
STREET ADDRESS			
TELEPHONE NUMBER	CODE	NUMBER	
CELLPHONE NUMBER			
E-MAIL ADDRESS			
VAT REGISTRATION NUMBER			
	TCC (TAX COMPLIANT STATUS PIN)	CSD No: CENTRAL SUPPLIER DATABASE NUMBER	
B-BBEE STATUS LEVEL	<input type="checkbox"/> Yes	B-BBEE STATUS LEVEL	<input type="checkbox"/> Yes
VERIFICATION CERTIFICATE [TICK APPLICABLE BOX]	<input type="checkbox"/> No	SWORN AFFIDAVIT	<input type="checkbox"/> No
IF YES, WHO WAS THE CERTIFICATE ISSUED BY?			
AN ACCOUNTING OFFICER AS CONTEMPLATED IN THE CLOSE CORPORATION ACT (CCA) AND NAME THE APPLICABLE IN THE TICK BOX	<input type="checkbox"/>	AN ACCOUNTING OFFICER AS CONTEMPLATED IN THE CLOSE CORPORATION ACT (CCA)	
	<input type="checkbox"/>	A VERIFICATION AGENCY ACCREDITED BY THE SOUTH AFRICAN ACCREDITATION SYSTEM (SANAS)	
	<input type="checkbox"/>	A REGISTERED AUDITOR	

		NAME AND CONTACT DETAILS:

[A B-BBEE STATUS LEVEL VERIFICATION CERTIFICATE/SWORN AFFIDAVIT (FOR EMEs& QSEs) MUST BE SUBMITTED IN ORDER TO QUALIFY FOR PREFERENCE POINTS FOR B-BBEE]

ARE YOU THE ACCREDITED REPRESENTATIVE IN SOUTH AFRICA FOR THE GOODS /SERVICES /WORKS OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES ENCLOSE PROOF]	ARE YOU A FOREIGN BASED SUPPLIER FOR THE GOODS//SERVICES /WORKS OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES ANSWER PART B:3 BELOW]
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SIGNATURE OF BIDDER	DATE	
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CAPACITY UNDER WHICH THIS BID IS SIGNED (Attach proof of authority to sign this bid; e.g. resolution of directors, etc.)	
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TOTAL NUMBER OF ITEMS OFFERED		TOTAL BID PRICE (ALL APPLICABLE TAXES INCLUDED)	
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<u>BIDDING PROCEDURE ENQUIRIES MAY BE DIRECTED TO:</u>		<u>TECHNICAL INFORMATION MAY BE DIRECTED TO:</u>	
NAME	Ms AMUKELANI MALULEKE	NAME	Mr LESEBELELE SETENO
TELEPHONE	(011) 498-5859	TELEPHONE	(011) 498-5959
E- MAIL ADDRESS	amaluleke@gpl.gov.za	E- MAIL ADDRESS	lseteno@gpl.gov.za

PLEASE NOTE THAT ALL ENQUIRIES SHOULD BE IN WRITING. NO TELEPHONIC ENQUIRIES WILL BE ATTENDED TO. E-MAILS SHOULD BE FORWARDED TO BOTH Ms MALULEKE AND Mr SETINO FOR WRITTEN RESPONSES



Compulsory Briefing Session (Declaration of Attendance)

Section 2
(p.g. 4)

BID NUMBER: GPL017/2020

BID DESCRIPTION: APPOINTMENT OF A SERVICE PROVIDER TO UNDERTAKE REMEDIAL WORKS TO THE ROOF CITY HALL BUILDING REHABILITATION OF CONCRETE & SHEETED ROOF PORTION FOR GAUTENG PROVINCIAL LEGISLATURE FOR A PERIOD 6 (SIX) MONTHS.

BID CLOSING DATE: 09 MARCH 2020 **CLOSING TIME:** 11H00am

BRIEFING SESSION:

Applicable: Yes

Compulsory: Yes

Venue: No. 10 Fraser Street, (Corner Helen Joseph & Fraser Street)
1st floor SAGE Building, JOHANNESBURG

Date: 21 FEBRUARY 2020

Time: 11h00am

I/We hereby declare that I/we attended the compulsory briefing session to understand the requirements of the GPL to supply all or any of the supplies and/or to render all or any of the services described in the attached bid documents, on the terms and conditions and in accordance with the specifications stipulated in the bid documents.

I, THE UNDERSIGNED (NAME).....

CERTIFY THAT THE INFORMATION FURNISHED AT THE SITE INSPECTION WAS UNDERSTOOD.

<p>SIGNATURE OF BIDDER OR ASSIGNEE(S)</p> <p>.....</p>	<p>DATE:</p>
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Position

Name Bidder

Name of Company.....

SIGNATURE OF GPL OFFICIAL.....

DATE:.....

3.1. DOCUMENTS

- 3.1.1. Specify name, position, address and other contact details (e-mail, telephone, and fax) of the person within the service provider organisation responsible for leading the bid process and to whom all correspondence should be directed.
- 3.1.2. The bid shall be signed by a relevant company or close cooperation (CC) representative who has the relevant authority to sign legal and binding contracts on behalf of the company or CC.
- 3.1.3. If any part of this bid is not duly filled in and signed in ink it may invalidate the bid.
- 3.1.4. Where alterations have been made to any part of the bid, the bidder must sign next to (Correction ink/Tippex is not allowed).
- 3.1.5. All bids must be submitted on the official forms (not to be re-typed or altered). The bidder must initial all the pages of this bid to acknowledge acceptance of understanding. The signed bid must be returned with the proposal.
- 3.1.6. The company, its Directorship and personnel assigned will be subject to vetting by GPL's Security Services. A register of will be requested of the successful company.
- 3.1.7. The bidder must certify that the personnel identified in its response to this bid will be the persons assigned to GPL. Any changes in the personnel from those identified in the response to the Bid must be approved by GPL. GPL may, at its discretion, require the removal and replacement of any of the bidder's personnel who do not perform adequately.

3.2 SUBMISSION OF BID PROPOSAL

- 3.2.1 This bid must be submitted in accordance with the format, times and place as prescribed in the bid document.
- 3.2.2 All responses must conform to instructions. Failure to provide relevant information, signatures or any other requirements of this bid will be considered appropriate cause for rejection of the response and will result in instant disqualification.
- 3.2.3 Proposals must be submitted with the sections and/or subsections clearly marked. All pages must be numbered consecutively.
- 3.2.4 No faxed or e-mailed copies will be accepted.

3.3 BID RESPONSES

- 3.3.1 Bidders' responses must be laid out in the format prescribed in this section.
- 3.3.2 Sections must be clearly labelled as follows:

3.3.3 Service Provider Contact Details

- Specify name, position, address and other contact details (e-mail, telephone, and fax) of the person within the bidding organisation responsible for leading the bid process and to whom all correspondence should be directed.
- Who, within the service provider's organisation, will be authorised to conduct the contract negotiations and sign the eventual contract?

3.3.4 Service Provider Profile

- Bidder's name and address
- Company / organisation structure
- Commencement date of business
- Certificate of Incorporation

3.3.5 Pricing Structure

- Prices must be quoted in South African currency and must be inclusive of Value Added Tax (VAT).
- Bidders are further requested to indicate their price in all elements listed on the pricing schedule below.
- Pricing on the pricing schedule is for comparative purposes.
- Prices must remain fixed for the duration of the contract. The pricing schedule must be completed. (SBD 3.3 pricing schedule to be downloaded with the bid documents)
- The total costs must be inclusive of all costs such as delivery, labour rates,
- Transfer of skills etc.

3.3.6 Quantity of Bids to be Submitted

3.3.6.1 Every prospective bidder must submit one (01) Original proposal with all requisite documents and three (03) copies with all requisite documents.

3.3.6.2 This Bid document, proposal and all other relevant documentation requested must be submitted in one sealed envelope or sealed box. (except for Financial proposal and all references where bidders' costs are displayed in this document, please put this in a separate envelope)

Bids must be clearly marked on the front as follows: **Bid No: GPL017/2020**

Bids must be clearly marked on the back as follows:

- **Bidders Name & Bidders Address**
- **Bidders Contact Numbers**

Bid documents may be couriered by registered mail or deposited in the tender box situated at:

**No 10 FRASER STREET, SAGE BUILDING
(CORNER HELEN JOSEPH & FRASER STREET)
1ST FLOOR, JOHANNESBURG**

NB. Bidders that hand deliver their Bid Proposal must ensure that they sign the register at the Reception.

3.4 ACCESSIBILITY OF THE TENDER/BID BOX

3.4.1 The Bid box can be accessed for twenty-four (24 hours). Monday to Friday (including Week-ends and Public Holidays), at, **No 10 FRASER STREET, SAGE BUILDING (CORNER HELEN JOSEPH & FRASER STREET) 1ST FLOOR, JOHANNESBURG**

3.4.2 Bidders must ensure that bids are delivered in a timely manner and to the correct address. If the bid is late, it will not be accepted for consideration. Bidders must allow sufficient time to access the tender box in the GPL through the visitor's entrance and other security checkpoints.

3.5 TIME FRAMES

3.5.1 Bidders are advised that GPL reserves the right to change any of the dates indicated in the bid document.

3.6 OWNERSHIP OF PROPOSALS

3.6.1 All proposals in response to this bid, whether successful or unsuccessful, will become the property of GPL.

3.6.2 Any costs incurred by the service providers in preparing and submitting their response will be the sole responsibility of the service provider.

3.7 BID VALIDITY PERIOD

3.7.1 This bid and all proposals (costs included) shall remain binding and valid for a period of ninety (90) days calculated from the closing date of the Bid. Gauteng Provincial Legislature (GPL) reserves the right to notify bidders in writing to extend the above validity period for another sixty (60) days if deemed in the interest of Gauteng Provincial Legislature (GPL). Any additional extension after the above days, Gauteng Provincial Legislature (GPL) will request approval from bidders.

3.8 JOINT VENTURES OR CONSORTIUM

3.8.1 A Copy of the Trust, Consortium or Joint Venture agreement, duly signed must be attached.

3.8.2 Ensure one responsible lead Bidder in the case of a consortium or joint venture.

- 3.8.3 A trust, consortium or joint venture will qualify for points for their B-BBEE status level as a legal entity, provided that the entity submits their consolidated B-BBEE status level certificate.

3.9 DISCOUNTS

- 3.9.1 When calculating comparative prices, GPL will consider any discounts which have been offered unconditionally.
3.9.2 A discount which has been offered conditionally will be implemented when payment is effected despite not being taken into account for evaluation purposes.

3.10 GENERAL REQUIREMENTS

- 3.10.1 Prospective bidders may submit their questions to tenders@gpl.gov.za or contact the person assigned to deal with enquiries on the advertisement for this bid.
3.10.2 Any costs incurred by the bidders in preparing and submitting their response to the Request for Bids (RFB) will be the sole responsibility of the bidder.
3.10.3 GPL may request bidders to provide additional pricing information to be utilised for comparative purposes during evaluations.
3.10.4 GPL reserves the right to invite short-listed bidders to make a presentation to GPL's bids evaluation committee to further clarify or substantiate their submissions.
3.10.5 GPL reserves the right not to award this bid in total, or part thereof.
3.10.6 GPL reserves the right, for purposes of promoting the values of competitiveness and fairness, not to award the bid to the highest scoring bidder if such bidder has been awarded a bid by GPL or has performed services for GPL during the last 12 months prior to the closing date of the bid.
3.10.7 GPL reserves the right to re-appoint or extend the service of the service provider where there is a natural continuation of assignments.
3.10.8 The successful bidder/s will enter into a stipulated contract with GPL for the provision of the required service.
3.10.9 The successful bidders, their employees and their sub-contractors must comply with GPL security clearance.
3.10.10 The successful bidders must be willing to sign confidentiality or non-disclosure agreement.
3.10.11 All items supplied by the successful bidder/s must meet the minimum approved requirements of the South African National Standards.
3.10.12 All items supplied by the successful bidder/s must be manufacturer guaranteed.
3.10.13 All relevant clearances and/or memberships must be submitted to GPL upon the renewal throughout the duration of the contract.
3.10.14 In the event where the order was wrongly printed, the service provider must be able to exchange goods or cancel the order as per the GPL's request.

3.11 CENTRAL SUPPLIER DATABASE REQUIREMENTS

- 3.11.1 Bidders should register on the Central Supplier Database(CSD) to upload information namely, (Business Registration/Directorship/Membership/Identity Numbers/Tax Compliance Status and Banking Information for verification purposes) B-BBEE Certificate or sworn affidavit for B-BBEE.
3.11.2 Where a bidder is not registered on the CSD, information, namely (Business Registration/Directorship/Membership/Identity Numbers/Tax Compliance Status and Banking Information for verification purposes) B-BBEE Certificate or sworn affidavit for B-BBEE must be submitted.
3.11.3 This bid is subject to the preferential procurement policy framework act and the preferential procurement regulations, 2017, financial management of parliament and provincial legislature act and the financial management of parliament and provincial legislature regulations, 2015, the general conditions of contract (GCC) and, if applicable, any other special conditions of contract (SCC)
3.11.4 GPL cannot award contracts to provide goods and/or services to a Member of GPL or Cabinet, a Member of a Provincial Legislature or Member of a Provincial Executive Council, a municipal councillor, a person in the employ of the state/government whose participation in bidding for the contract may result in a conflict of interest, or any entity in which any of the mentioned persons is a Director or has controlling or other substantial interest.

3.12 VISITS / MEETINGS / INSPECTION

- 3.12.1 A part of the adjudication process GPL may request certain providers to organize a visit to an existing facility under the management of the service provider to gain an understanding of the provider's service standards.
- 3.12.2 GPL may require presentations or meetings with bidders, at the cost of bidders, as part of the evaluation process to provide further information, submission of substantiating documentation or clarification to GPL as deemed necessary.

3.13 AWARD OF BID

- 3.13.1 The award of this Bid by the Secretary to GPL shall constitute a binding contract, and such acceptance by a letter or e-mail message.
- 3.13.2 The Secretary to GPL may award this Bid to more than one successful Bidder, either in full or in part.
- 3.13.3 GPL reserves the right not to award this contract.
- 3.13.4 Service Level Agreements will be concluded with the successful service provider.

3.14 SUBCONTRACTING

- 3.14.1 A bidder shall not be awarded the points claimed for B-BBEE status level of contribution if it is indicated in the bid documents that such a bidder intends subcontracting more than 25% of the contract value to any other enterprise that does not qualify for at least the same number of points that the bidder qualifies for, unless the intended sub-contractor is an EME that has the capability and ability to execute the sub-contract.
- 3.14.2 A contractor is not allowed to sub-contract more than 25% of the contract value to another enterprise that does not have equal or higher B-BBEE status level, unless the intended sub-contractor is an EME that has the capability and ability to execute the sub-contract.
- 3.14.3 In relation to a designated sector, a contractor must not be allowed to subcontract in such a manner that the local production and content of the overall value of the contract is reduced to below the stipulated minimum threshold.

3.15 SUBCONTRACTING AFTER AWARD OF TENDER

- 3.15.1 A person awarded a contract may only enter into a subcontracting arrangement with the approval of the organ of state.
- 3.15.2 A person awarded a contract in relation to a designated sector, may not subcontract in such a manner that the local production and content of the overall value of the contract is reduced to below the stipulated minimum threshold.
- 3.15.3 A person awarded a contract may not subcontract more than 25% of the value of the contract to any other enterprise that does not have an equal or higher B-BBEE status level of contributor than the person concerned, unless the contract is subcontracted to an EME that has the capability and ability to execute the subcontract.

3.16 FRONTING

- 3.16.1 The GPL supports the spirit of broad based black economic empowerment and recognizes that real empowerment can only be achieved through individuals and businesses conducting themselves in accordance with the Constitution and in an honest, fair, equitable, transparent and legally compliant manner. Against this background the GPL condemns any form of fronting.
- 3.16.2 The GPL, in ensuring that bidders conduct themselves in an honest manner will, as part of the bid evaluation processes, conduct or initiate the necessary enquiries/investigations to determine the accuracy of the representation made in bid documents. Should any of the fronting indicators as contained in the Guidelines on Complex Structures and Transactions and Fronting, issued by the Department of Trade and Industry, be established during such enquiry / investigation, the onus will be on the bidder / contractor to prove that fronting does not exist. Failure to do so within a period of 14 days from date of notification may invalidate the bid / contract and may also result in the restriction of the bidder /contractor to conduct business with the public sector for a period not exceeding ten years, in addition to any other remedies the GPL may have against the bidder / contractor concerned.

3.17 SECURITY AND OCCUPANCY

- 3.17.1 All the areas covered by this contract fall within areas defined in the relevant Security and Access Acts as "Restricted Areas" and all of the provisions of these Acts will apply to this contract.
- 3.17.2 All buildings involved in this contract are subject to stringent access control for all personnel and for materials delivered to and removed from the site. In addition all workmen and staff on site or in any way involved in this contract are subject to prior security clearance. Bidders will be required to submit a list of the minimum sufficient persons required affecting the work on site plus those directly involved on site with this contract. If any person is rejected for security reasons Bidders will be required to replace them on their list. If the Bidder is ultimately unable to offer personnel with satisfactory security clearance his Bid may be rejected on such grounds.
- 3.17.3 Any person rejected by the SAPS for failing to meet the security requirements, inclusive of security clearance, wandering away from an escort or from the immediate contract area, or any misconduct on the site will immediately, without any recourse by the Contractor, be removed from site and refused re-entry to site. This refusal to site shall be in addition to any legal action the SAPS may institute.
- 3.17.4 Successful Bidder will be required to hand in to the GPL Security Unit within Forty- Eight (48) hours after being requested, following formal acceptance of the Bid, the following information:
- Full names of each of the persons intended to be utilized on site, including supervisory staff.
 - Position in firm plus service to be performed.
 - Intended areas they will be working in.
 - A copy of Identification Document, certified as a true copy of the original by the SAPS. Such document shall be the original certified copy.
 - Home address.
- 3.17.5 Bidders are recommended to have such documentation, both for their own staff and for their Sub-contractors, if applicable, available prior to the closing date of Bids so as to minimise delays in security clearance of personnel once the Bid is awarded.
- 3.17.6 Any time lost due to delays in submitting the called for list of personnel required entering site, the rejection of personnel on the list, or the subsequent removal and banning from site of personnel will not be accepted as motivation for extension of the contract period.
- 3.17.7 Such clearance for this project shall remain valid for a period not exceeding 12 months and shall only apply for this project.

3.18 SAFEGUARDING OF DOCUMENTS

- 3.18.1 All documents will be individually numbered on issue and records kept as to what documents have been issued to whom.
- 3.18.2 All documents issued to sub-contractors or suppliers must be signed for, and such sub-contractors and suppliers must also accept responsibility for the safeguarding of such documents while they are in their possession.
- 3.18.3 All documentation shall be strictly handled as set out in the SSA Minimum Information Security Standards (MISS), a copy of which shall be provided to the successful contractor at the time of site hand over.
- 3.18.4 It will be the main contractor's responsibility to familiarise themselves with the MISS document and make sure his personnel and sub-contractors are advised accordingly.

3.19 BID CANCELLATION

- 3.19.1 GPL may amend or cancel this Bid before the award should it deem it necessary.
- 3.19.2 GPL may before the award of a bid, cancel a bid if – but not limited to:
- due to changed circumstances there is no longer need for the goods and services specified in the invitation.
 - funds are no longer available to cover the total envisaged expenditure
 - no acceptable bid is received; or
 - there is a material irregularity in the bidding process

3.20 DELIVERY ADHERENCE

- 3.20.1 Delivery of goods must be made in accordance with the instructions appearing on the official Purchase Order issued by GPL.
- 3.20.2 All deliveries or dispatches must be accompanied by a delivery note stating the official order number against which the delivery/milestone has been affected.
- 3.20.3 Deliveries not complying with the order forms will be returned to the supplier or service provider's expense

1) IF THE BIDDER IS IN PARTNERSHIP / JOINT VENTURE / CONSORTIUM.

We the undersigned partners / joint ventures / consortium, tendering as

.....
.....

hereby authorize

to sign this Bid as well as any contract resulting from this Bid and any other documents correspondence in connection with this Bid and/or contract on our behalf.

FULL NAMES:..... CAPACITY

SIGNATURE

2) IF THE BIDDER IS A ONE PERSON BUSINESS / SOLE TRADER.

I, the undersigned

hereby confirm that I am the sole owner of the business trading as

.....

3) IF THE BIDDER IS SUB-CONTRACTING.

I, the undersigned

hereby confirm that I will be sub-contracting work to the following company/companies

.....
.....

If more than 25% of the contract/work you enter into GPL is to be subcontracted, indicate the following details:

Sub-contractor's name	Value of work to be sub-contracted	% of work to be sub-contracted	BBBEE Level of the sub-contractor

I/WE, THE UNDERSIGNED, WHO WARRANTS THAT HE/SHE IS DULY AUTHORISED TO DO SO ON BEHALF OF THE FIRM ACKNOWLEDGE THAT:

- 1) The information furnished is true and correct.
- 2) In the event of a contract being awarded as a result of points claimed, the contractor may be required to furnish documentary proof to the satisfaction of GPL that the claims are correct.
- 3) If the claims are found to be incorrect, GPL may, in addition to any other remedy it may have –:
 - a) recover all costs, losses or damages it has incurred or suffered as a result of that person's conduct;
 - b) cancel the contract and claim any damages which it has suffered as a result of having to make less favourable arrangements due to such cancellation;

- 4) Impose a financial penalty more severe than the theoretical financial preference associated with the claim which was made in the Bid.
- 5) I hereby undertake to render services described in the attached Bidding documents to GPL in
- 6) accordance with the requirements and task directives / proposals specifications stipulated in this Bid proposal at the price/s quoted. My offer/s remains binding upon me and open for acceptance by GPL during the validity period indicated and calculated from the closing date of the Bid.
- 7) I confirm that I have satisfied myself as to the correctness and validity of my Bid; that the price(s) and rate(s) quoted cover all the services specified in the bidding documents; that the price(s) and rate(s) cover all my obligations and I accept that any mistakes regarding price(s) and rate(s) and calculations will be at my own risk.
- 8) I accept full responsibility for the proper execution and fulfilment of all obligations and conditions devolving on me under this agreement as the principal liable for the due fulfilment of this contract.
- 9) Declare that I have no participation in any collusive practices with any Bidder or any other person regarding this or any other Bid.
- 10) I confirm that I am duly authorised to sign this contract.

DECLARATION

I hereby agree that, in the event of false, incorrect or misleading information being provided in this declaration, the Secretary to GPL shall have the right to:

- recover any losses or damages sustained by GPL under such agreement
- restrict the supplier from further business with GPL depending on the materiality of the misrepresentation and the degree of prejudice suffered.

Name of Representative: _____

Identity number: _____

Signature: _____ Date: _____

COMMISSIONER OF OATHS

I certify that the above has acknowledged that he/she knows and understands the contents of this document, that he/she does not have any objection to taking the oath, and that he/she considers it to be binding on his/her conscience, and which was sworn to and signed before me at _____ on this the _____ day of _____ 20____, and that the administering oath complied with the regulations contained in Government Gazette No. R 1258 of 21 July 1972, as amended.

_____ (Sign – SERVICE PROVIDER)

_____ (Name – SERVICE PROVIDER)

COMMISSIONER OF OATHS STAMP AND DETAILS OF PERSON
<p>STAMP</p> <p>NAME & SURNAME:</p> <p>DESIGNATION/RANK:</p> <p>PERSAL/EMPLOYEE NO/SERVICE NUMBER:</p> <p>PLACE/DATE:</p>

The Gauteng Provincial Legislature (Gauteng Legislature, GPL) is one of nine provincial legislatures in South Africa, which are a product of extensive negotiations that gave shape to the 1996 Constitution. The Constitution empowers the Legislature to make laws for Gauteng, oversee that the Gauteng government works efficiently and honestly, and ensure that the people of Gauteng participate in the running of their province.

The Legislature moved from Pretoria to Johannesburg in 1994 after the first democratic elections in 1994 and following a decision to move the Government of the Gauteng Province. The Johannesburg City Hall opened as the Gauteng Legislature's new home on 21 October of 1995.

HOW THE GAUTENG LEGISLATURE IS COMPOSED

The Legislature is a House comprising the speaker (who heads up the organisation) and Members of the Provincial Legislature (MPLs) from various political parties, allocated per the vote of the Gauteng Province. Political parties get seats in the Legislature through a system of proportional representation – meaning, the party with most votes gets the majority of MPLs in the House.

The Constitution empowers each of the nine provincial legislatures to make laws that apply uniquely to each of their provinces. MPLs divided into portfolio committees conduct the business of the House. Each committee is attached to a provincial government department (or cluster of departments) in the Provincial Government and enhances the department's ability to deliver services through advisory, monitoring and oversight.

Standing committees deal with diverse issues (other than government departments). These committees consider Bills and other matters referred to them either by the Speaker or the House.

Ad hoc committees work with various experts to matters that need specialised expertise. The Legislature's administration staff complement gives operational support to the committees. The administrative wing of the Legislature is headed by the provincial secretary (or secretary to the legislature).

LEGISLATURE OVERSIGHT'S ROLE

MPLs consider Bills placed before them by the provincial executive, comprised of the Premier of Gauteng and the Members of the Executive Council (MECs). MPLs debate Bills, budgets, statements and speeches by MECs in committee meetings or in plenary sessions of the Legislature. Committees have the power to summon MECs and Department officials to answer questions relating to service delivery in the Province. The MECs must be prepared to answer hard questions on how they are delivering a better life to the people of Gauteng. Committees can also undertake investigations into activities by government departments and such investigations are often open to public scrutiny.

The Legislature allows the people of Gauteng to participate in law-making and oversight processes. It is a Constitutional requirement that the Provincial Legislature affords Citizens an opportunity to partake in legislative processes – and this is an obligation that the Gauteng Provincial Legislature has vigorously embraced.

LAW MAKING

New legislation starts out as a Bill, which is carefully discussed to ensure that it is relevant to the needs of the Province, clear, practical and in line with the Constitution. MPLs also receive submissions from the people of Gauteng on matters of concern to the Province, which may require specific legislation to be instituted. MPLs can also initiate legislation individually, as can any of the Legislature's standing committees.

TERMS OF REFERENCE

**APPOINTMENT OF SERVICE PROVIDER
TO UNDERTAKE REMEDIAL WORKS TO THE ROOF
– CITY HALL BUILDING –
REHABILITATION OF CONCRETE & SHEETED ROOF PORTION
FOR GAUTENG PROVINCIAL LEGISLATURE FOR A PERIOD OF
6 (SIX) MONTHS**

1. BACKGROUND

- 1.1. Gauteng Provincial Legislature is housed in the City Hall Building. The building is a heritage building which is more than 100 years old. Sittings of the house are undertaken within this building and the precinct has also been declared a National Key Point Site. The building is in the CBD of Johannesburg.
- 1.2. The project is proposed to respond to the recommendations of the conditions assessment which was undertaken to ensure effective and efficient asset management in compliance with the requirements of requisite legislation and regulations, as well as improve stakeholder satisfaction in respect of GPL facilities.
- 1.3. The project is proposed to ensure that minimal damage is caused to GPL assets that may arise from leakages of the roof as well as to ensure building complies with requisite building, health and safety requirements thus contributing to a conducive working environment and stakeholder's satisfaction with the facility.
- 1.4. AFMS Group (Pty) Ltd was appointed to render the condition assessment services on the Gauteng Provincial Legislature (GPL) building in the 2015-16 financial year. Based on the condition assessment findings, waterproofing and roofing remedial works were found to be an area requiring urgent attention.
- 1.5. At the time of assessment, it was determined that the roof areas require urgent repairs and waterproofing to all defective and damaged areas including guttering, fascia boards, flashings and full-bore outlets.
- 1.6. The project is envisaged to ensure compliance to amongst others, the following legislation and regulations: -
 - National building Regulation and Standards Act 103 of 1977 as amended
 - Occupational Health & Safety Act (OHASA)
 - Municipal Bylaws
 - SANS 10400
 - SANS 204
 - Government Immovable Asset Management Act No. 19 of 2007
 - Heritage Resources Act No. 25 of 1999
 - National Department of Public works – Construction Works Specifications Edition 2.1 July 2014

2. INTRODUCTION

- 2.1. To provide prospective contractors with adequate information to understand and respond to GPL's requirements in respect of the required waterproofing and roofing remedial works required for the main building.
- 2.2. To provide prospective contractors with opportunity to present GPL with best suitable options to enable undertaking of the project, both in terms of price and quality.
- 2.3. The process to invite tender/bid submissions emanates from the following process: -
 - Condition Assessment was conducted in 2015/16 Financial Year to indicate areas which required remedial works / upgrades to be undertaken.
 - Civil/Structural Engineers were appointed to undertake scoping works required and prepare specifications for the works required.
 - Heritage consultant was appointed to ensure that the heritage requirements were complied with.
 - Approval of scope of works was undertaken internally by the directorate (Operational Support Services and included Building Manager and Safety Officer)

3. OBJECTIVE

- 3.1. The objectives of this project is to appoint a competent, qualified contractor to undertake the required scope of works as per specifications at the best quality and in compliance with requisite regulations and legislation as the building is a heritage site.

4. THE ROLE OF CONTRACTOR FOR WATERPROOFING AND ROOFING REMEDIAL WORKS

- 4.1. To undertake all relevant works to ensure required remedial waterproofing and roofing works are completed as per scope of works outlined.
- 4.2. The contractor will be required to undertake all the required remedial works as specified in the Bills of Quantities and in compliance with all requisite specifications and regulations.
- 4.3. The work on the flat and sheeting roof has little risk of any negative impact on the building heritage requirements.
- 4.4. The required remedial works will have an impact on access to the building as scaffolding will have to be erected for access to the roof. Wayleaves to JRA for street level access, hoarding and barricading will also have to be obtained.

5. SCOPE OF WORK

5.1. Flat Concrete Roofs

- 5.1.1. Concrete flat roofs to be waterproofed. This work will be comprised of the following:
- Strip existing torched-on waterproofing and dispose
 - Demolish screeds where falls are insufficient
 - Apply new screeds to improved falls
 - Clear all full-bore drains
 - Apply new spray-on waterproofing coating with adequate side laps
 - Strip existing joint seals and grout from parapet copings and stone cladding, and reseal with correct waterproof grout
 - Remove redundant brackets and fixings from walls and roof slab, and seal the holes
 - Scratch open plaster cracks, clean and seal cracks, apply waterproofing membrane and repaint walls
 - Seal around all roof skylights.
 - Maintain the lightning conductor on all parapets, test and certify upon completion by specialist subcontractor

5.2. Pitched Sheeting Roofs

- 5.2.1. Roofs to be waterproofed, roofing sheets and gutters to be replaced. This work will be comprised of the following:
- Strip existing waterproofing seals and coatings
 - Remove and dispose all gutters and downpipes
 - Clean, inspect, repaint and seal existing metal sheeting
 - Replace all loose screws and fixings
 - Seal all valleys, hips and ridges
 - Install new profile rolled aluminium gutters and downpipes,
 - Reinstate lightning conductors in place where applicable.
 - Replace damaged roofing sheets

5.3. Detailed Scope of Works, Specifications and Bills of Quantity

5.3.1. Detailed scope of works, specifications and Bills of Quantity has been prepared and forms part of the tender documents.

6. REQUIRED COMPETENCIES

The following competencies, experience and knowledge is required from potential contractors: -

- 6.1. The contractor should have experience of working at heights and required safety measures.
- 6.2. The contractor must have the requisite experience in waterproofing of roofs.
- 6.3. The contractor must have experience with working on sheeted roofs.

7. KEY ASSUMPTIONS

- 7.1. The contractor has the requisite skills, capacity and expertise to undertake the works as outlined in the scope of works provided and or be able to sub-contract for the required expertise in respect of portion for which they don't have internal expertise.
- 7.2. The contractor complies with all requirements in respect of safety and heritage requirements

8. PERIOD OF THE ASSIGNMENT

- 8.1. Estimated timeframe for completion of works is 6 (six) months.

9. REQUIREMENT FOR COMPLIANCE

9.1. Risk Assurance

- o The Contractor must, at his own expense, take out enough insurance against any claims, costs, loss and/or damage ensuing from its obligation and shall ensure that such insurance remains operative for the duration of this project.

Risk Insurance Description Insurance	Cover
Theft & Malicious Damage	R1, 000, 000
Works Insurance	R2, 500 000
Public Liability Limit	R5, 000, 000

- o A copy of all Risk Insurance Liability must be handed to GPL upon commencement of the project by the successful contractor.

9.2. Occupational Health and Safety

- o The Contractor must ensure compliance to Occupational, Health and Safety Act for the duration of contract.
- o COIDA – Letter of good standing must be submitted with the proposal.
- o Safety Practices – must be submitted with the proposal.
- o An OHS file must be prepared and handed in on appointment of successful contractor.

9.3. Financial Capability

- o The contractor must submit the latest financial statement.

10. EVALUATION CRITERIA

10.1. Phase 1: Pre- Qualification

10.1.1. During this phase, submissions will be reviewed for purposes of assessing compliance to prescribed GPL Supply Chain Management Policy and submission of all requisite documentation and attendance of briefing session and site inspection.

10.1.2. Failure to comply with the prescribed Supply Chain Management Requirements in phase 1 (one) will lead to disqualification of submission.

10.2. Phase 2: Mandatory Compliance

10.2.1. All submissions that do not meet the Mandatory Requirements will be disqualified and will not be considered for further evaluation.

10.2.2. The Contractor must be registered and be in good standing with the Contractors Industry Development Board (CIDB). Only contractors that have a CIDB grading of 4GB and 3SN or higher, will be considered. The Contractor must provide proof of registration with CIDB.

10.2.3. GPL reserves the right to verify the Contractor's status of registration directly with CIDB

10.3. Phase 3: Technical/ Functionality Evaluation

10.3.1. Submissions will be evaluated in accordance with the Functional criteria set below.

10.3.2. A minimum threshold of 70 points must be achieved to proceed to phase 4 (four) of the evaluation. If the minimum threshold is not met the proposal will be disqualified.

10.3.3. The GPL reserves the right to verify all information submitted.

FUNCTIONALITY CRITERIA	SCORING GUIDE	MAX POINTS																										
<p>Approach Paper – Method Statement</p> <p>A project execution plan indicating how the objectives will be achieved in a 6 (six) months period should be included.</p> <p>Health and Safety plan must be submitted for the project</p> <p>Risk Management Plan must be submitted for the project</p> <p>Detailed programme with measurable milestones which are specific to the project and covers key tasks, sub tasks, distribution of resources, cost projection. Key Milestones and critical path provided Gnat charts with measurable milestones. Contractor must allocate requisite resources to ensure completion within the stipulated period.</p>	<table border="1"> <thead> <tr> <th data-bbox="544 1317 1230 1346">Proposed Detailed Project Program for the Entire Scope of Work</th> <th data-bbox="1230 1317 1326 1346">Score</th> </tr> </thead> <tbody> <tr> <td data-bbox="544 1346 1230 1406">Project plan submitted indicating construction program period more than 4 months no program</td> <td data-bbox="1230 1346 1326 1406">0</td> </tr> <tr> <td data-bbox="544 1406 1230 1467">Project plan submitted indicating construction program period of 6 (six) months or less</td> <td data-bbox="1230 1406 1326 1467">10</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th data-bbox="544 1496 1230 1525">Health & Safety Plan</th> <th data-bbox="1230 1496 1326 1525">Score</th> </tr> </thead> <tbody> <tr> <td data-bbox="544 1525 1230 1563">Unrelated to construction or No Plan</td> <td data-bbox="1230 1525 1326 1563">0</td> </tr> <tr> <td data-bbox="544 1563 1230 1601">Generic but addressing OHS plan in general</td> <td data-bbox="1230 1563 1326 1601">2</td> </tr> <tr> <td data-bbox="544 1601 1230 1639">Specific to the scope of work or ISO 18000 certified</td> <td data-bbox="1230 1601 1326 1639">5</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th data-bbox="544 1675 1230 1704">Risk Management Plan</th> <th data-bbox="1230 1675 1326 1704">Score</th> </tr> </thead> <tbody> <tr> <td data-bbox="544 1704 1230 1742">Unrelated to construction or No Plan</td> <td data-bbox="1230 1704 1326 1742">0</td> </tr> <tr> <td data-bbox="544 1742 1230 1780">Generic but addressing RM plan in general</td> <td data-bbox="1230 1742 1326 1780">2</td> </tr> <tr> <td data-bbox="544 1780 1230 1818">Specific to the project</td> <td data-bbox="1230 1780 1326 1818">5</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th data-bbox="544 1825 1230 1854">Programme</th> <th data-bbox="1230 1825 1326 1854">Score</th> </tr> </thead> <tbody> <tr> <td data-bbox="544 1854 1230 1973">Detailed programme with measurable milestones which are specific to the project and covers key tasks, sub tasks, distribution of resources, cost projection (4) Key Milestones and critical path provided (4) Gnat charts with measurable milestones (2)</td> <td data-bbox="1230 1854 1326 1973">10</td> </tr> </tbody> </table>	Proposed Detailed Project Program for the Entire Scope of Work	Score	Project plan submitted indicating construction program period more than 4 months no program	0	Project plan submitted indicating construction program period of 6 (six) months or less	10	Health & Safety Plan	Score	Unrelated to construction or No Plan	0	Generic but addressing OHS plan in general	2	Specific to the scope of work or ISO 18000 certified	5	Risk Management Plan	Score	Unrelated to construction or No Plan	0	Generic but addressing RM plan in general	2	Specific to the project	5	Programme	Score	Detailed programme with measurable milestones which are specific to the project and covers key tasks, sub tasks, distribution of resources, cost projection (4) Key Milestones and critical path provided (4) Gnat charts with measurable milestones (2)	10	30
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<p>Capacity – Human Resources</p> <p>Experience / Capability Project Manager / Foreman (CV 's and certificates submitted Proof of competency i.e. training/ qualification certificates and proof of registration with relevant professional bodies).</p> <p>Personnel Number of staff allocated to this project, their seniority, qualifications and competency</p>	<table border="1"> <tr> <td>Project Manager / Foreman in Similar Projects</td> <td>Score</td> </tr> <tr> <td>CV to include details describing experience and capacity in handling similar jobs.</td> <td>1</td> </tr> <tr> <td>Certificates – detailing description of the education, knowledge, as well as certifications or other professional credentials that clearly show the individual is qualified to perform the required work</td> <td>1</td> </tr> <tr> <td>Description of how the proposed project manager / foreman has supplied expertise for similar contracts and projects.</td> <td>1</td> </tr> <tr> <td>Project manager / foreman has more than 5 years' experience on similar projects.</td> <td>2</td> </tr> </table> <table border="1"> <tr> <td>Personnel</td> <td>Experience in Project Specific Sheeted Roof</td> <td>Score</td> </tr> <tr> <td>Details of staff, role on the project and organogram</td> <td>3- 4 years</td> <td>4</td> </tr> <tr> <td>CV 's and certificates submitted</td> <td>1 - 2 years</td> <td>3</td> </tr> <tr> <td>Job descriptions per staff member</td> <td>Relevant experience</td> <td>3</td> </tr> </table>	Project Manager / Foreman in Similar Projects	Score	CV to include details describing experience and capacity in handling similar jobs.	1	Certificates – detailing description of the education, knowledge, as well as certifications or other professional credentials that clearly show the individual is qualified to perform the required work	1	Description of how the proposed project manager / foreman has supplied expertise for similar contracts and projects.	1	Project manager / foreman has more than 5 years' experience on similar projects.	2	Personnel	Experience in Project Specific Sheeted Roof	Score	Details of staff, role on the project and organogram	3- 4 years	4	CV 's and certificates submitted	1 - 2 years	3	Job descriptions per staff member	Relevant experience	3		15		
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Environmental Impact Attach a detailed implementation plan by the contractor and/or the person(s) responsible for implementing the agreement/contract, indicating how the environmental impact and the waste generated will be minimized, mitigated and managed.	Environmental Impact Implementation Plan		5
		Score	
	Unrelated to project or No Plan	0	
	Generic but addressing EI in general	2	
	Specific to the project	5	
Professional Affiliation	Association		10
		Score	
	Waterproofing Association of Gauteng	5	
	Southern African Metal Cladding and Roofing Association (SAMCRA)	5	
TOTAL POINTS			100
THRESHOLD POINTS			70

10.4. Phase 4: Preference Score System

10.4.1. This phase is based on the 80/20 Preference point system in terms of the Preferential Procurement Policy Framework Act.

10.4.2. The 80 points reflecting Price and 20 points reflecting B-BBEE recognition Based on the firm respondent price provided, the following formula will be used to award points on price evaluation.

EVALUATION CRITERIA	SUB-CRITERIA	WEIGHTING/POINTS
Price	Detailed budget breakdown	80
B-BBEE (Status Level Verification Certificate)	B-BBEE Level Contributor	20
TOTAL POINTS		100

MANDATORY AND COMPULSORY REQUIREMENTS: These are compulsory documents required for this bidding. Should the bidder fail to submit the following MANDATORY/COMPULSORY documents your bid will be disqualified automatically:

Item	Description	Yes	No
1	Technical Proposal		
2	Invitation to bid (SBD1): completed and signed		
3	Terms of Reference		
4	Pricing Schedule (Firm Pricing) SBD 3.3		
5	Did you submit the Price Breakdown (Excel Sheet provided by you)		
6	Did you submit a total bid price including vat, For the duration of the contract?		
7	Did you submit any proof of registration to relevant professional bodies, if applicable?		
8	Declaration of interest (SBD 4), Original completed and signed.		
9	Preference points claim (SBD 6.1), Original completed and signed		
10	Declaration of Bidder's past SCM Practices (SBD 8), Original completed and signed.		
11	Certificate of independent bid determination (SBD 9), Original completed and signed.		
12	Did you submit proof of shareholding for HDI points (CK documents)?		
13	Did you submit copies of South African IDs' for shareholders? Compulsory		
14	Did you submit a consortium/joint venture agreement, if applicable?		
15	Original and valid tax clearance certificate. Or SARS Issued PIN?		
16	Did you submit one (1) original and three (3) copies of the bid documents?		
17	Did you take note of and understand the Special Conditions?		
18	Did you submit your management and contact details?		
19	Did you submit contact details for references?		
20	Did you submit your company profile, brief financial information, concerning turnover and asset value, and details of any BEE Shareholding?		
21	Did you submit your companies Financial Statements? Compulsory and must be latest		
	Joint Venture / Consortium agreement / Trust Deed (if applicable)		
22	<ul style="list-style-type: none"> ▪ Certified copies of shareholders certificates ▪ Certified copy of Company Registration documents that reflect Company name, ▪ Registration number, date of registration and active Directors or Members ▪ Certified copy of ID documents of the Directors or Members 		
23	<ul style="list-style-type: none"> ▪ Original or Certified copy of Valid B-BBEE Certificate (from SANAS accredited Verification Agency) or from the Auditors approved by the Independent Regulatory Body of Auditors (IRBA); ▪ Any EME (Exempt Micro Enterprise) or QSE (Qualifying Small Enterprise) is only required to obtain a sworn affidavit on an annual basis, confirming the following: <ul style="list-style-type: none"> • B-BBBEE Level of contribution • The percentage of Black Ownership • The percentage of ownership by women • Whether or not Bidder's Annual income exceeded R10,000,000 (ten million rand) based on Management Accounts and other information available on the past financial year. 		
24.	<ul style="list-style-type: none"> ▪ The Contractor must be registered and be in good standing with the Contractors Industry Development Board (CIDB). Only contractors that have a CIDB grading of 4GB and 3SN or higher, will be considered. The Contractor must provide proof of registration with CIDB. 		
Service Provider's name:..... Completed by:..... Signature:.....			

ANNEXURE A – RESPONSE FORMAT

Bidder/Tender's Experience

The experience of the tenderer or joint venture partners in the case of an unincorporated joint venture or consortium as opposed to the key staff members / experts in similar projects or similar areas and conditions in relation to the scope of work over the last five years.

Bid No: _____

Name of Bidder: _____

Authorised Signatory: _____

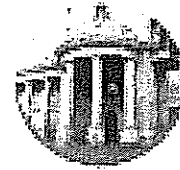
[Note to the Bidder: The bidder must complete the information set out below in response to the requirements stated in Section 2 of this bid document. If the bidder requires more space than is provided below it must prepare a document in substantially the same format setting out all the information referred to below and return it with this Returnable Sc.]

The bidder must provide the following information:

Client' Name	Nature of the contract (Fixed cost or Ad-hoc)	Description of Services Contracted for	Project Period (Start and End Dates)	Value of Work done under the contract	Name, title and telephone contact of client



T/N



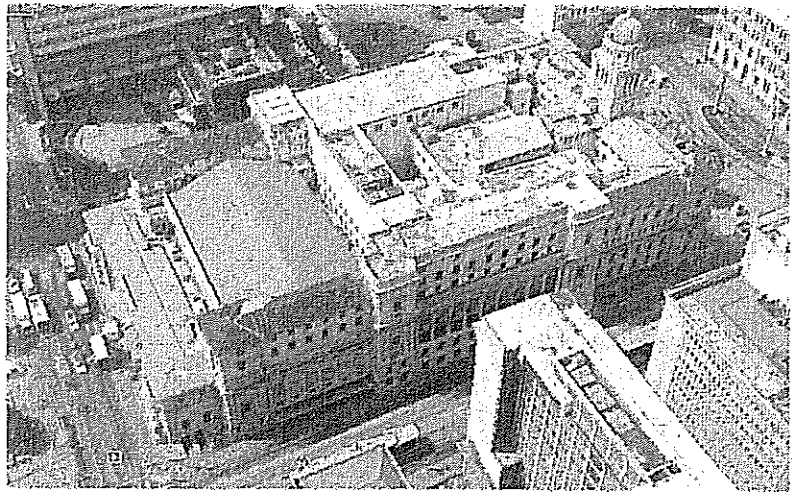
GAUTENG
LEGISLATURE
Your Voice – Our Vision

GAUTENG PROVINCIAL LEGISLATURE

A: ROOF WATERPROOFING

TECHNICAL SPECIFICATION

AUGUST 2019



15 Chester Rd, Parkwood,
Johannesburg, 2193
T +27 (0)11 447 2943
F +27 (0)96 667 3938
E info@masandetvna.co.za

DIRECTORS Eng: Sikunzi & Tsho van Nieuwen. REG NO 2314 216 15140

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1. EXECUTIVE SUMMARY

Gauteng Provincial Legislature appointed Masande TVNA Consulting Engineers to investigate the condition of the roof waterproofing, and to develop a solution to address the present leaking and damage to internal finishes.

The site is located between Albertina Sisulu, Harrison, Helen Joseph and Rissik streets in Johannesburg CBD.

The building is classified as a heritage site, and is subjected to the restrictions, controls and approvals of the Provincial Heritage Resources Authority - Gauteng (PHRA-G). An application was lodged with PHRA-G for the proposed work, and is subject to their approvals and conditions.

The work comprises of three workgroups, namely:

- a) Concrete flat roofs to be waterproofed, with waterproofing of stone cladding joints,
- b) Pitched tiled clay roofs, where tiles are replaced by others, the structure waterproofed, and gutters replaced.
- c) Pitched corrugated metal roofs to be waterproofed, and gutters replaced.

All necessary safety measures as required by the OHS Act are to be included and provided.

2. GENERAL INFORMATION

2.1. Client's Details

Gauteng Provincial Legislature
Address: Corner Albertina Sisulu & Rissik
Private Bag X52
Johannesburg
2000

Telephone: 011-4985902
Email: nkamungoma@gpl.gov.za

2.2. Consulting Engineer's Details

MasandeTVNA Consulting Engineer
Reg. No. CK/2000/026749/23

Address: 173 St Georges Road,
Observatory
Johannesburg
2198

Telephone: 011-4873467
Fax: 0866831358
Email: theo@masandetvna.co.za

Responsible Person: T.E. van Niekerk
Registration Number: 950627

3. TERMS OF REFERENCE

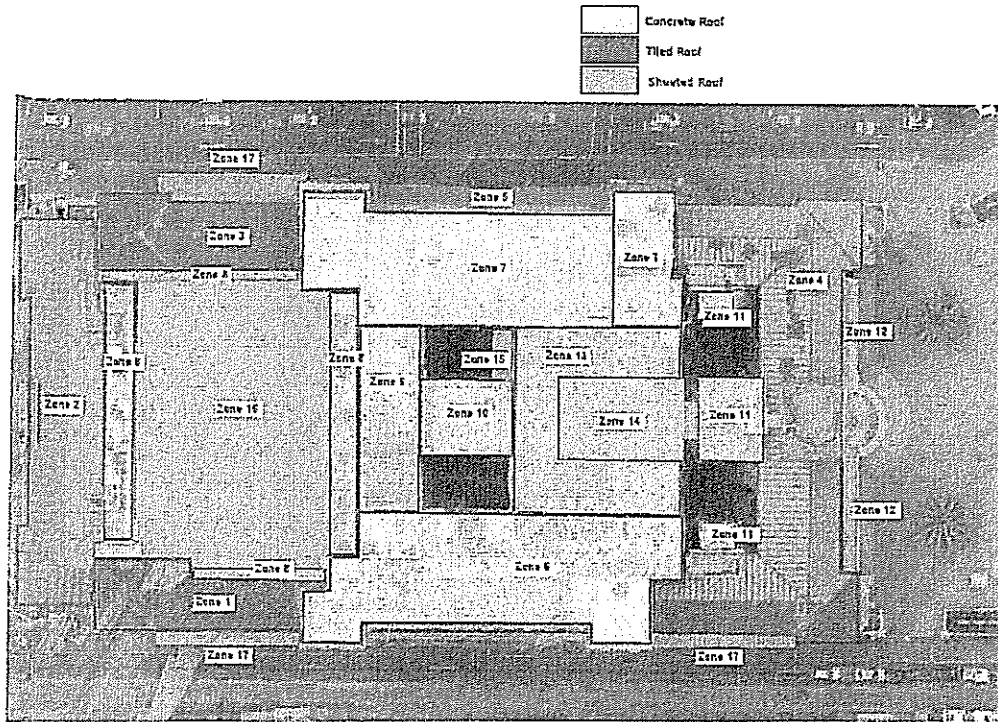
Gauteng Provincial Legislature appointed Masande TVNA Consulting Engineers to investigate the condition of the roof waterproofing, and to develop a solution to address the present leaking and damage to internal finishes.

The building is classified as a heritage site, and is subjected to the restrictions, controls and approvals of the Provincial Heritage Resources Authority - Gauteng (PHRA-G). An application was lodged with PHRA-G for the proposed work, and is subject to their approvals.

3.1. SITE INFORMATION

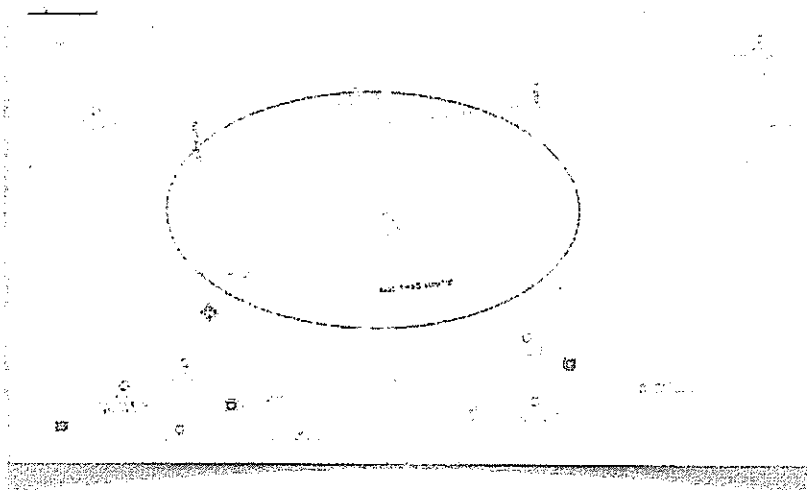
3.1.1. SITE DESCRIPTION

The site comprises one building with a collection of roofs in terms of heights, finishes and construction. The roofs are grouped into three, namely flat concrete roofs, clay tiled pitched roofs, and sheet metal pitched roofs. Refer to the schematic below for the grouping clarification.



3.1.2. LOCALITY MAP

The site is located between Albertina Sisulu, Harrison, Helen Joseph and Rissik streets.



3.2. SCOPE OF WORKS

The project comprise the following four main work groups:

- Temporary access scaffolding and safety structures,
- Treatment of the concrete flat roofs and related elements,
- Treatment of the clay tiled pitched roofs and related elements,
- Treatment of the metal pitched roofs and related elements.

The groups are detailed further as follows:

3.2.1. Concrete roofs

The scope of work for this work group comprise the following:

- a) Erect safety measures as required,
- b) Strip existing torched-on waterproofing and dispose,
- c) Demolish screeds where falls are insufficient,
- d) Apply new screeds to improved falls,
- e) Clear all fullbore drains, and of blocked, inspect by camera for repairs,
- f) Apply new torch-on waterproofing coating with adequate side laps, and spray-on waterproofing in inaccessible areas around chillers and plant.
- g) Strip existing joint seals and grout from parapet copings and stone cladding, and reseal with correct waterproof grout
- h) Remove redundant brackets and fixings from walls and roofslab, and seal the holes,
- i) Scratch open plaster cracks, clean and seal cracks, apply waterproofing membrane and repaint walls,
- j) Seal around all roof skylights.
- k) Maintain the lightning conductor on all parapets, test and certify upon completion by specialist subcontractor.

3.2.2. Metal Roofs

The scope of work for this work group comprise the following:

- a) Erect safety measures as required, including all approvals from local council if using pedestrian walkway space,
- b) Strip existing waterproofing seals and coatings, and dispose,
- c) Remove and dispose all gutters and downpipes,
- d) Clean, inspect, repaint and seal existing metal sheeting,

- e) Replace all loose screws and fixings,
- f) Seal all valleys, hips and ridges,
- g) Install new profile rolled aluminium gutters and downpipes,
- h) Reinstate lightning conductors in place where applicable.

4. TECHNICAL SPECIFICATIONS

4.1. Flat slab roof

The area where the rooftop chillers and other mechanical equipment is positioned is considered confined, with difficult accessible sections. Therefore an elastic spray-on product is required to ensure proper coverage throughout.

- Strip and dispose of existing waterproofing material.
- Remove all oils, grease or other contaminants by scrubbing, rinsing and cleaning to produce a water break-free surface. Abrade surfaces where necessary by etching, blasting or grinding.
- Inspect roof falls for proper drainage, and identify areas where screeds must be modified.
- Apply new screed to minimum 1% falls to outlets, with crystalline add-mixture to supplier's application. Internal corners should be coved to 50mm and external corners radiused to 25mm. All exposed brickwork, where the waterproofing is to be terminated, must be plastered to a smooth and true finish
- Apply Stoncor Deckprotect 344 torched-on waterproofing membrane or similar approved. Specifications attached in Annexure B & C
- Apply a polyurea-polyurethane spray-on application waterproofing membrane, Stoncor Stonechem 441 or Bitumproof Inopaz H2O or similar approved. (If any alternative is offered, comprehensive comparative specifications must be provided to demonstrate matching properties). Specifications attached in Annexure B & C
- Lap all sides to suppliers' directions along all balustrades, upstands and plinths. Counter flash all vertical terminations with a 100mm wide strip of Pro-Struct 680 Acrylic Flashing Liquid reinforced with Pro- Struct 599 membrane (as per the Technical Data Sheet of Pro-Struct 680). The top leading edge of the counter-flashing will be terminated in either a reglet of the substrate (Minimum of 6 x 6mm joint), or a brickwork joint.
- **Flood Test:** On completion of the waterproofing installation, the waterproofing contractor is to seal all outlets and flood test the area. A certificate or letter is to be obtained from the main contractor establishing that the waterproofing treatment was handed over in a watertight and workmanlike manner.

4.2. Sheet metal roof

This section covers all corrugate metal roofs and sheeting, other than the sheeting under the clay tiles.

- Remove the existing waterproofing strips and membranes.
- Clean the metal substrate thoroughly ensuring all dust, loose debris and other contaminants are removed
- Inspect the roof for loose or missing screws, and replace and repair as necessary.
- Seal all joints, fixings and other potential areas of water ingress of Pro-Struct 203, reinforcing it with Pro-Struct 200 Membrane, alternatively Bitumproof BP-3000 & Paz-poly membrane.
- Apply primer to suppliers specifications.
- Apply Stoncor Alumanation 301 or Bitumproof Acrylpaz Super over ENTIRE surface.
- Refit new gutters and downpipes.
- Specifications attached in Annexure B & C

4.3. Balustrade cladding & copings

- Strip all existing membranes and seals from joints.
- Clean stone cladding by grit blasting to remove traces of old waterproofing and paint.
- Scratch out old grout between joints.
- Seal joints with *TREMCO PU515 low modulus polyurethane elastomeric sealant* to suppliers' directions.
- Specifications attached in Annexure B.
- Upon completion, appoint a specialist subcontractor to inspect, repair where necessary, test and certify the roof earthing system. All down conductors, connectors and mountings to be serviceable upon completion.

4.4. Exterior walls

- Scrape loose paint and remove.
- All cracks wider than 0.3mm are to be raked out to a width of no less than 6mm and patched with Pro-Struct 684/1.
- Clean the prepared substrate thoroughly, ensuring all loose debris, dust, existing coatings and contaminants are removed.
- Apply Pro-Struct 506 to all prepared surfaces, in strict accordance with the attached product data sheet.
- Repaint the walls to original colours.

5. DRAWINGS

No formal drawings are available on the project. The contractor must submit sketches of their proposed access and safety system for approval by the Engineer and Client prior to commencing work.

6. SCHEDULE OF QUANTITIES

PREAMBLE TO THE SCHEDULE OF QUANTITIES AND RATES

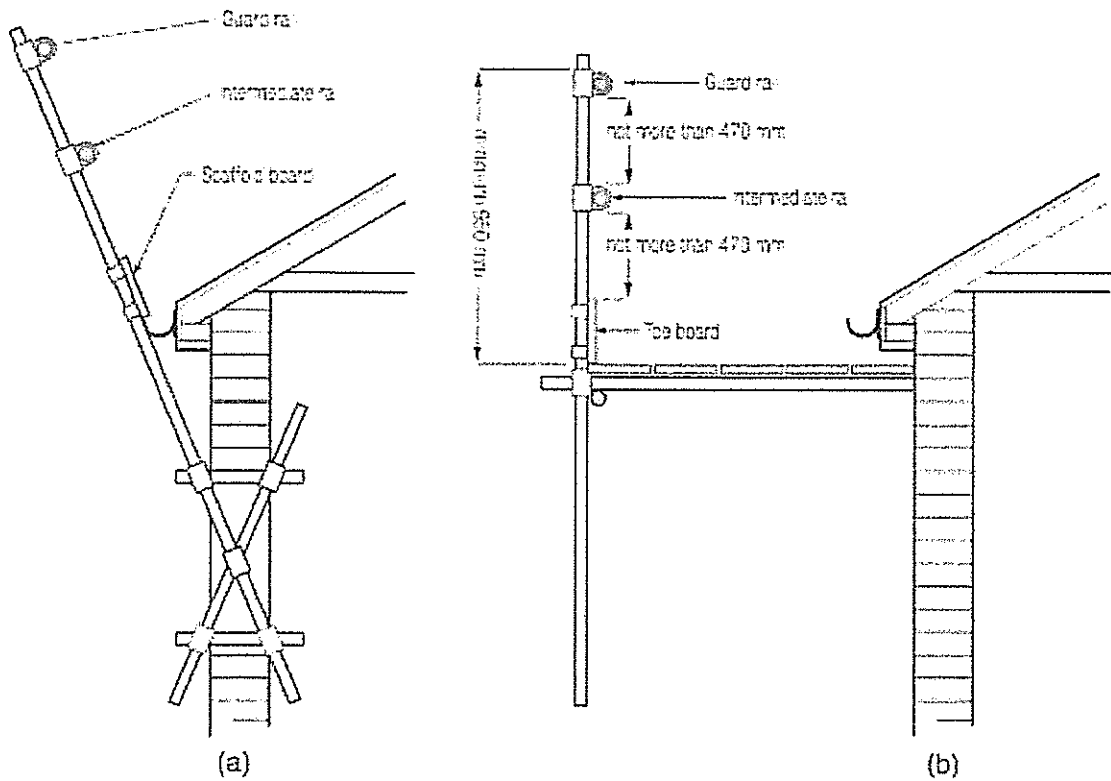
- a) The Standard Commercial Terms and Conditions, The Special Commercial Terms and Conditions, the Specifications (including the Project Specification), and any Drawings are to be read in conjunction with the Schedule of Quantities and Rates.
- b) The Schedule comprises items covering the Service Provider's profit and costs of general liabilities and of the design, manufacture, supply, installation and commissioning of temporary and permanent Works. The Proposer is at liberty to insert a rate of his own choosing for each item in the Schedule and any item against which no quantity (where applicable) or rate is entered will be considered to be covered by other items in the Schedule.
- c) The quantities and rates inserted in the Schedule are to be inclusive prices to the Employer for the work described under the several items. Such prices shall cover all costs and expenses that may be required in and for the Works, and shall cover the cost of all general risks, liabilities, and obligations set forth or implied in the documents on which the Tender is based. All rates and amount shall be nett, exclusive of Value Added Tax (VAT) and shall be carried to the summary page in their nett form. VAT will then be calculated on the total of the nett amounts.
- d) All quantities and rates as set forth and inserted in the Schedule and extended to the totals for each portion of the Schedule, shall be considered as being totally inclusive for the whole of the Works as stipulated, or as can reasonably be inferred from these Documents.
- e) All product guarantees are deemed to be included in the rates, and installation and application rates will include all necessary inspections and approvals to maintain guarantees.
- f) "Complete" as it is used in the Schedule means the complete system or unit as specified in the particular documents.
- g) Each item in the Schedule which is priced, shall be filled in black ink.
- h) All quantities shall be considered as final and sufficient for the work described. The Proposer shall satisfy himself as to the sufficiency of quantities but may not change quantities. Quantities shall be re-measured and payment shall be made according to the adjusted total only.
- i) In case of arithmetical errors in the multiplication of rates and quantities in the Proposal, the amount shall not be changed. In case of incorrect summation of amounts in the Proposal, the Lump Sum total shall remain fixed.

7. HEALTH AND SAFETY

Safety during construction is paramount, and the Contractor must adhere to the statutory construction regulations and other regulatory requirements.

The following serves as a guideline to the access and safety scaffolding:

- One point of entry will be allowed from street level. No access is allowed from inside the building.
- All roof structures must be inspected prior to erection of working platforms or scaffolding onto roof structures. Any discrepancies must be reported to the Engineer for assessment.
- Stacking of materials may only be done on roof sections able to withstand the load safely, and must be restricted to limit concentrated loads on the structure.
- **A secure means of entry and exit is essential.** A general access scaffold or tower scaffold (preferably of the stairway design) will be required to provide suitable access. A properly secured ladder is the minimum requirement for short term access.
- **Permanent security guards or lockable gates** will be required at the access point. Access to the site must be controlled and limited at all times.
- **Edge Protection Barriers:** All exposed roof edges to be enclosed with an edge protection barrier. Edge protection should include or be equivalent to:
 - a main guard rail at least 950 mm above the edge;
 - a toe board and brick guard where there is risk of objects being kicked off the edge of the platform; and
 - a suitable number of intermediate guard rails or suitable alternatives positioned so that there is no gap more than 470 mm.
 - Roof parapets may provide equivalent protection but if it does not, extra protection will be required as described above.
- **Crawl boards and Roof ladders:** On sloping roofs, roof workers should not work directly on tiles, as they do not provide a safe footing, particularly when they are wet. Use roof ladders and proprietary staging to enable safe passage across a roof. It must be designed for the purpose, of good construction, properly supported, and, if used on a sloping roof, securely fixed by means of a ridge hook placed over the ridge, bearing on the opposite roof or other support. It should be used in addition to eaves-level edge protection. *Gutters should not be used to support any ladder.*
- **Work platforms:** Adequate and secure work platforms from which to carry out the work are required where necessary.
- **Fall mitigation:** Providing adequate platforms and edge protection may not always be possible or reasonably practicable. If so, safety nets, soft landing systems, or other measures may be necessary to minimise the consequences of any potential injury. If nets are used it must be properly installed by competent riggers as close under the work surface as possible to minimise the distance fallen.



- **Personal fall arrest systems:** Devices such as harnesses with a sufficiently strong anchorage points are necessary throughout, the contractor must determine where the anchorage points should be, and clearly indicate it on site. The contractor will be responsible to monitor user discipline and active monitoring for compliance.
- **Falling material:** A tidy site must be maintained to prevent material which could fall from accumulating. Material may never be thrown from a roof or scaffold, and enclosed rubbish chutes are to be used if lowering material to the ground in containers is not possible. Rubbish chutes must discharge into skips to dispose of spoil material to spoil level.
- **Public safety must be maintained throughout, and all scaffolding and pedestrian walkways must be barricaded to prevent accidental or unauthorised access. Where necessary, the contractor must obtain permission from council to barricade sidewalks.**

8. HERITAGE REQUIREMENTS

The Contractor will be required to comply with, and adhere to, the requirements imposed by the Provincial Heritage Resources Authority - Gauteng (PHRA-G), which are, but not limited to, the following:

8.1. PHRA-G Conditions

- A permit will be issued prior to commencement of any work, to be read in conjunction with the PHRA-G approved plans,
- A copy of the permit must be kept on site at all times,
- The permit is subject to a general appeal period of 14 days. The permit will be suspended should an appeal be received by PHRA-G within 14 days from the date of issuing of the permit.
- No work may be done during the appeal period, until the Appeals Committee heard the case and made a decision.
- An A3 copy of the approved permit must be displayed on the main street façade for the 14 days appeal period.
- The permit is valid for two years and not transferable.
- The issuing of the permit does not exempt the contractor from other statutory applications to local authorities.
- PHRA-G must be notified when the work is completed.

8.2. General

- Additional caution needs to be taken when working with heritage buildings as damage can often not be repaired and items cannot be replaced.
- Movable or removable items that may be damaged or stolen during the construction process should be put into safe keeping and securely locked away. These should only be reinstalled after the completion of the project.
- No item is to be disposed of without approval of the professional team and heritage consultant.
- Any items found on site, regardless of their perceived value, should be put to one side to be assessed by the architect and heritage consultant prior to disposal.
- The site and building should be kept secure at all times.
- The buildings should be kept weather proof to prevent water damage.
- Vertical access to the roof (be it done internally or externally) should allow for the protection of existing surfaces and fittings from damage.

8.3. Demolition

- No demolition is to take place without prior confirmation of its extents with the Engineer.

- Any fittings recovered during demolition are to be retained and are not to be disposed of without permission from the professional team and heritage consultant.
- Chasing/chopping of existing surfaces should be limited where ever possible. Where this needs to occur it should be away from any existing fittings and decorative wall finishes (such as tiles). The extents of all chasing / chopping must be confirmed with the professional team and heritage consultant prior to the start of work.

8.4. Woodwork and Timber

- Woodwork should be protected from damage during construction.
- The balustrade of the staircase, should they be used for access, should be covered with soft board or similar covering to protect it from damage.

9. EVALUATION CRITERIA

The tenders will be evaluated on the following criteria:

- a) Standard commercial compliance as per GPL Procurement Policy (submission of required statutory documentation, etc).
- b) Schedule of Quantities:
 - All line items to be priced,
 - No alterations to quantities,
 - Arithmetic correctness,
 - Comparison of individual rates to check for unusual outliers,
 - Check for omissions.
- c) Technical experience and competency of tenderer.
- d) Products proposed if deviating from specification. NOTE: The tenderer must submit a comprehensive comparison with specified materials to demonstrate compliance and equivalent performance. The Engineer will not search through spec-sheets to find justification for alternative products.

ANNEXURES:

- Annexure A: Site Plans
- Annexure B: Material Specifications and Specsheets - STONCOR
- Annexure C: Material Specifications and Specsheets - BITUM-PROOF
- Annexure E: Heritage Mitigating Conditions

ANNEXURE A
SITE LAYOUT DRAWINGS

ANNEXURE B
MATERIAL SPECIFICATIONS
STONCOR

ANNEXURE C
MATERIAL SPECIFICATIONS
BITUM PROOF

ANNEXURE D
HERITAGE MITIGATING CONDITIONS

Mitigation Measures recommended in the Heritage Impact Assessment

GENERAL MITIGATION MEASURES

- PROTECTION – Sufficient care needs to be taken when working on the building knowing its historic and cultural significance. Allowance needs to be made for the protection of areas from damage and theft while working including areas used for the stockpiling of material and construction waste. This is particularly true for surfaces which are exposed (the stone façade), important details and copper elements.
- CONTRACTOR – the demonstration of relevant experience working on historic buildings and working with the specified roof tile need to be required by the contractor as part of the tender documentation.

ROOF TILES

- The new roof tiles must be a clay "roman" type tile (also referred to as an "up an over" tile) as specified.
- The original roof tiles must be carefully assessed and removed for possible reuse. Should sufficient tiles be salvaged to re-roof selected section of the roof of the building then this should occur in preference to the replacement with new roof tiles.
- Should in not be possible to salvage sufficient roof tiles the roof should be retiled with the specified and agreed roof tile.
- The old roof tiles should be removed and retained for reuse on other historic buildings should they not be reused.

SHEETING ROOFS

- Should sheeting be replaced the new sheeting should match the profile of the original.
- Sheeting that is repainted should be repainted in a red oxide colour as per the original colour scheme

FLAT ROOFS

No specific mitigation measures required

GUTTERS

- The profile of the new gutters should match that of the original
- The gutters should be repainted in a colour to match the original

DOWNPIPES

- Internal courtyard or roof top level downpipes should be replaced to match the original.
- External façade downpipes should only be replaced where necessary. The relining of the downpipes is preferable over replacement
- The profile of the new downpipes should match that of the original
- The gutters should be repainted in a colour to match the original

HERITAGE WATCH LIST FOR TENDER DOCUMENTS

General

- Additional caution needs to be taken when working with heritage buildings as damage can often not be repaired and items cannot be replaced.
- Movable or removable items that may be damaged or stolen during the construction process should be put into safe keeping and securely locked away. These should only be reinstalled after the completion of the project.
- No item is to be disposed of without approval of the professional team and heritage consultant.
- Any items found on site, regardless of their perceived value, should be put to one side to be assessed by the architect and heritage consultant prior to disposal.
- The site and building should be kept secure at all times.
- The buildings should be kept weather proof to prevent water damage.
- Vertical access to the roof (be it done internally or externally) should allow for the protection of existing surfaces and fittings from damage.

Demolition

- No demolition is to take place without prior confirmation of its extents with the architect.
- Any fittings recovered during demolition are to be retained and are not to be disposed of without permission from the professional team and heritage consultant.
- Chasing/chopping of existing surfaces should be limited where ever possible. Where this needs to occur it should be away from any existing fittings and decorative wall finishes (such as tiles). The extents of all chasing / chopping must be confirmed with the professional team and heritage consultant prior to the start of work.

Woodwork and Timber

- Woodwork should be protected from damage during construction.
- The balustrade of the staircase, should they be used for access, should be covered with soft board or similar covering to protect it from damage.

Section 1: PRELIMINARY & GENERAL

ITEM NO	PAYMENT	DESCRIPTION	UNIT	QTY	RATE	AMOUNT	
						R	c
A1		Item 1					
A1.1	SANS 1200 A	SECTION : PRELIMINARY AND GENERAL					
A1.2	8.3	FIXED-CHARGE ITEMS					
A1.2.1	8.3.1	Contractual Requirements	Sum				
A1.2.2		Safety file	Sum	1.0			
A1.3	8.4	TIME-RELATED ITEMS					
A1.3.1	8.4.1	Contractual Requirements	Sum				
	8.4.2.2	b) Facilities for Contractor for duration of construction, except where otherwise stated					
A1.3.2		Offices, abolition and storage sheds	Sum				
A1.3.3		Workshops	Sum				
A1.3.4		Dealing with water (Subclause 5.5)	Sum				
A1.3.5	8.4.3	Supervision	Sum				
A1.3.6	8.4.4	Company and head office overhead costs	Sum				
A1.3.7	8.4.5	Other time-related obligations	Sum				
A1.3.8		Inspect and certify Roof earthing upon completion	Sum	1.0			
A1.3.9		Provision for inspection and repair to Bell Tower Roof	-	Lump	Sum	50,000	00
Total Carried Forward To Summary							



Section 2: ACCESS & SAFETY

ITEM NO	PAYMENT	DESCRIPTION	UNIT	QTY	RATE	AMOUNT	
						R	c
A2		Section 2: ACCESS & SAFETY					
A2.1		TEMPORARY ACCESS					
A2.1.1		Security access from street level, complete with lockable gate, 2.4m fence and razor coil	Sum	1.0			
A2.1.2		Access scaffolding to various roofs	Sum	1.0			
A2.2		PERMANENT ACCESS					
A2.2.1		Fall arrest lines along balustrades	m	450.0			
Total Carried Forward To Summary							

Section 3: CONCRETE ROOFS

ITEM NO	PAYMENT	DESCRIPTION	UNIT	QTY	RATE	AMOUNT	
						R	c
A3		Section 3: CONCRETE ROOFS					
A3.1		DEMOLITION					
A3.1.1		Strip existing waterproofing membrane and dispose at contractor's own disposal site	m ²	2,660.0			
A3.1.2		Remove all oils, grease & contaminants and abrade surface	m ²	2,660.0			
A3.1.3		Demolish screeds where inadequate falls, and dispose at contractor's own disposal site	m ³	320.0			
A3.1.4		Scrape loose paint from walls and prepare surfaces - on rooftops only	m ²	530.0			
A3.1.5		Rake open wall cracks to minimum 6mm wide on masonry walls	m ²	530.0			
A3.1.6		Rake open, remove and dispose of existing joint grout and waterproofing strips over stone and other copings	m	420.0			
A3.1.7		Clean stone cladding by grit or waterjet blasting to remove traces of previous waterproofing	m ²	200.0			
A3.1.8		Inspect fullbore pipes with camera and clear to ensure full drainage	Sum	1.0			
A3.1.9		Remove existing downpipes, and dispose at contractor's own disposal site	m	241.0			
A3.2		WATERPROOFING					
A3.2.1		Supply and install new screeds where directed to minimum falls of 1:100, mixed with crystalline add-mixture, average 120mm thick	m ³	320.0			
A3.2.2		Supply, apply and finish off torch-on waterproofing membrane. Product subject to approval by Engineer	m ²	2,660.0			
A3.2.3		Supply, apply and finish off spray-on waterproofing membrane. Product subject to approval by Engineer	m ²	100.0			
A3.2.4		Lap all sides and counter flash vertical terminations complete as specified	m	1,110.0			
A3.2.5		Extra over to seal around roof skylights and openings	No.	16.0			
Total Carried Forward							

Section 3: CONCRETE ROOFS

ITEM NO	PAYMENT	DESCRIPTION	UNIT	QTY	RATE	AMOUNT		
						R	c	
Brought Forward								
A3.2.6		Seal stone cladding and coping joints with polyurethane elastomeric sealant. Product subject to approval	m	420.0				
A3.2.7		Apply Pro-struct 506 to prepared surfaces, and repaint two coats PVA paint to match original colours	m ²	530.0				
A3.2.8		Supply and lay concrete flagstones to create walkways, complete with rubber pad underneath	No.	100.0				
A3.2.9		Supply, fit and finish off down pipes	m	241.0				
Total Carried Forward To Summary								

Prepared by Masande TVNA Consulting Engineers

Section 4: METAL ROOFS

ITEM NO	PAYMENT	DESCRIPTION	UNIT	QTY	RATE	AMOUNT	
						R	c
A4		Section 4: METAL ROOFS					
A4.1		DEMOLITION					
A4.1.1		Strip existing waterproofing membranes and strips, and dispose at contractor's own disposal site	m ²	1,835.0			
A4.1.2		Clean metal substrate and prepare surfaces	m ²	1,835.0			
A4.1.3		Inspect and fasten or replace loose screws	m ²	1,835.0			
A4.1.4		Inspect and remove damaged flashing, ridge caps and trimmings	m	50.0			
A4.1.5		Remove existing gutters and downpipes, and dispose at contractor's own disposal site	m	188.0			
A4.2		WATERPROOFING					
A4.2.1		Supply, apply and finish off waterproof coating as specified over entire surface. Product subject to approval by Engineer.	m ²	1,835.0			
A4.2.2		Install new flashings and trimmings where directed	m	50.0			
A4.2.3		Supply, fit and finish off gutters	m	100.0			
A4.2.4		Supply, fit and finish off down pipes	m	88.0			
Total Carried Forward To Summary							



SUMMARY OF SECTIONS

SECTION	DESCRIPTION	AMOUNT (RAND)
A1	Section 1: PRELIMINARY & GENERAL	.....
A2	Section 2: ACCESS & SAFETY	.....
A3	Section 3: CONCRETE ROOFS	.....
A4	Section 4: METAL ROOFS	.....
	SUBTOTAL	.....
1	Add Contingency	.....
	SUBTOTAL	.....
2	Add 15% VAT	.....
Total Carried Forward To Summary Of Schedules		.....

PRICING SCHEDULE
(Professional Services)

NAME OF BIDDER:	BID NO.:
CLOSING TIME 11:00	CLOSING DATE.....

OFFER TO BE VALID FORDAYS FROM THE CLOSING DATE OF BID.

ITEM NO	DESCRIPTION	BID PRICE IN RSA CURRENCY **(ALL APPLICABLE TAXES INCLUDED)
---------	-------------	--

1. The accompanying information must be used for the formulation of proposals.

2. Bidders are required to indicate a ceiling price based on the total estimated time for completion of all phases and including all expenses inclusive of all applicable taxes for the project.

R.....

3. PERSONS WHO WILL BE INVOLVED IN THE PROJECT AND RATES APPLICABLE (CERTIFIED INVOICES MUST BE RENDERED IN TERMS HEREOF)

4. PERSON AND POSITION

HOURLY RATE

DAILY RATE

R-----
R-----
R-----
R-----
R-----

5. PHASES ACCORDING TO WHICH THE PROJECT WILL BE COMPLETED, COST PER PHASE AND MAN-DAYS TO BE SPENT

R----- days
R----- days
R----- days
R----- days

5.1 Travel expenses (specify, for example rate/km and total km, class of airtravel, etc). Only actual costs are recoverable. Proof of the expenses incurred must accompany certified invoices.

DESCRIPTION OF EXPENSE TO BE INCURRED	RATE	QUANTITY	AMOUNT
-----	R.....
-----	R.....
-----	R.....
-----	R.....

TOTAL: R.....

** "all applicable taxes" includes value-added tax, pay as you earn, income tax, unemployment insurance contributions and skills development levies.

Name of Bidder:

5.2 Other expenses, for example accommodation (specify, eg. Three star hotel, bed and breakfast, telephone cost, reproduction cost, etc.). On basis of these particulars, certified invoices will be checked for correctness. Proof of the expenses must accompany invoices.

DESCRIPTION OF EXPENSE TO BE INCURRED	RATE	QUANTITY	AMOUNT
.....	R.....
.....	R.....
.....	R.....
.....	R.....
TOTAL: R.....			

- 6. Period required for commencement with project after acceptance of bid
- 7. Estimated man-days for completion of project
- 8. Are the rates quoted firm for the full period of contract? *YES/NO
- 9. If not firm for the full period, provide details of the basis on which adjustments will be applied for, for example consumer price index.
.....
.....
.....

*[DELETE IF NOT APPLICABLE]

Any enquiries regarding bidding procedures may be directed to the –
(INSERT NAME AND ADDRESS OF DEPARTMENT/ENTITY)

Tel:

Or for technical information –

(INSERT NAME OF CONTACT PERSON)

Tel:

DECLARATION OF INTEREST

1. Any legal person, including persons employed by the state¹, or persons having a kinship with persons employed by the state, including a blood relationship, may make an offer or offers in terms of this invitation to bid (includes a price quotation, advertised competitive bid, limited bid or proposal). In view of possible allegations of favouritism, should the resulting bid, or part thereof, be awarded to persons employed by the state, or to persons connected with or related to them, it is required that the bidder or his/her authorised representative declare his/her position in relation to the evaluating/adjudicating authority where-

- the bidder is employed by the state; and/or
- the legal person on whose behalf the bidding document is signed, has a relationship with persons/a person who are/is involved in the evaluation and or adjudication of the bid(s), or where it is known that such a relationship exists between the person or persons for or on whose behalf the declarant acts and persons who are involved with the evaluation and or adjudication of the bid.

2. **In order to give effect to the above, the following questionnaire must be completed and submitted with the bid.**

2.1 Full Name of bidder or his or her representative:

2.2 Identity Number:

2.3 Position occupied in the Company (director, trustee, shareholder²):

2.4 Company Registration Number:

2.5 Tax Reference Number:

2.6 VAT Registration Number:

2.6.1 The names of all directors / trustees / shareholders / members, their individual identity numbers, tax reference numbers and, if applicable, employee / persal numbers must be indicated in paragraph 3 below.

¹"State" means –

- (a) any national or provincial department, national or provincial public entity or constitutional institution within the meaning of the Public Finance Management Act, 1999 (Act No. 1 of 1999);
- (b) any municipality or municipal entity;
- (c) provincial legislature;
- (d) national Assembly or the national Council of provinces; or
- (e) Parliament.

²"Shareholder" means a person who owns shares in the company and is actively involved in the management of the enterprise or business and exercises control over the enterprise.

2.7 Are you or any person connected with the bidder presently employed by the state? **YES / NO**

2.7.1 If so, furnish the following particulars:

Name of person / director / trustee / shareholder/ member:

Name of state institution at which you or the person connected to the bidder is employed :

Position occupied in the state institution:

Any other particulars:

.....
.....
.....

2.7.2 If you are presently employed by the state, did you obtain the appropriate authority to undertake remunerative work outside employment in the public sector? **YES / NO**

2.7.2.1 If yes, did you attached proof of such authority to the bid document? **YES / NO**

(Note: Failure to submit proof of such authority, where applicable, may result in the disqualification of the bid.

2.7.2.2 If no, furnish reasons for non-submission of such proof:

.....
.....
.....

2.8 Did you or your spouse, or any of the company's directors / trustees / shareholders / members or their spouses conduct business with the state in the previous twelve months? **YES / NO**

2.8.1 If so, furnish particulars:

.....
.....
.....

2.9 Do you, or any person connected with the bidder, have any relationship (family, friend, other) with a person employed by the state and who may be involved with the evaluation and or adjudication of this bid? **YES / NO**

2.9.1 If so, furnish particulars.

.....

4 DECLARATION

I, THE UNDERSIGNED (NAME).....

CERTIFY THAT THE INFORMATION FURNISHED IN PARAGRAPHS 2 and 3 ABOVE IS CORRECT.
I ACCEPT THAT THE STATE MAY REJECT THE BID OR ACT AGAINST ME IN TERMS OF
PARAGRAPH 23 OF THE GENERAL CONDITIONS OF CONTRACT SHOULD THIS DECLARATION
PROVE TO BE FALSE.

.....
Signature

.....
Date

.....
Position

.....
Name of bidder

**PREFERENCE POINTS CLAIM FORM IN TERMS OF THE PREFERENTIAL
PROCUREMENT REGULATIONS 2017**

This preference form must form part of all bids invited. It contains general information and serves as a claim form for preference points for Broad-Based Black Economic Empowerment (B-BBEE) Status Level of Contribution

NB: BEFORE COMPLETING THIS FORM, BIDDERS MUST STUDY THE GENERAL CONDITIONS, DEFINITIONS AND DIRECTIVES APPLICABLE IN RESPECT OF B-BBEE, AS PRESCRIBED IN THE PREFERENTIAL PROCUREMENT REGULATIONS, 2017.

1. GENERAL CONDITIONS

1.1 The following preference point systems are applicable to all bids:

- the 80/20 system for requirements with a Rand value of up to R50 000 000 (all applicable taxes included); and
- the 90/10 system for requirements with a Rand value above R50 000 000 (all applicable taxes included).

1.2

- a) The value of this bid is estimated to exceed/not exceed R50 000 000 (all applicable taxes included) and therefore the preference point system shall be applicable; or
- b) Either the 80/20 or 90/10 preference point system will be applicable to this tender (*delete whichever is not applicable for this tender*).

1.3 Points for this bid shall be awarded for:

- (a) Price; and
- (b) B-BBEE Status Level of Contributor.

1.4 The maximum points for this bid are allocated as follows:

	POINTS
PRICE	.....
B-BBEE STATUS LEVEL OF CONTRIBUTOR	.....
Total points for Price and B-BBEE must not exceed	100

1.5 Failure on the part of a bidder to submit proof of B-BBEE Status level of contributor together with the bid, will be interpreted to mean that preference points for B-BBEE status level of contribution are not claimed.

1.6 The purchaser reserves the right to require of a bidder, either before a bid is adjudicated or at any time subsequently, to substantiate any claim in regard to preferences, in any manner required by the purchaser.

B-BBEE Status Level of Contributor	Number of points (90/10 system)	Number of points (80/20 system)
1	10	20
2	9	18
3	6	14
4	5	12
5	4	8
6	3	6
7	2	4
8	1	2
Non-compliant contributor	0	0

5. BID DECLARATION

5.1 Bidders who claim points in respect of B-BBEE Status Level of Contribution must complete the following:

6. B-BBEE STATUS LEVEL OF CONTRIBUTOR CLAIMED IN TERMS OF PARAGRAPHS 1.4 AND 4.1

6.1 B-BBEE Status Level of Contributor: . =(maximum of 10 or 20 points)

(Points claimed in respect of paragraph 7.1 must be in accordance with the table reflected in paragraph 4.1 and must be substantiated by relevant proof of B-BBEE status level of contributor.

7. SUB-CONTRACTING

7.1 Will any portion of the contract be sub-contracted?

(Tick applicable box)

YES	<input type="checkbox"/>	NO	<input type="checkbox"/>
-----	--------------------------	----	--------------------------

7.1.1 If yes, indicate:

- i) What percentage of the contract will be subcontracted.....%
- ii) The name of the sub-contractor.....
- iii) The B-BBEE status level of the sub-contractor.....
- iv) Whether the sub-contractor is an EME or QSE

(Tick applicable box)

YES	<input type="checkbox"/>	NO	<input type="checkbox"/>
-----	--------------------------	----	--------------------------

v) Specify, by ticking the appropriate box, if subcontracting with an enterprise in terms of Preferential Procurement Regulations,2017:

Designated Group: An EME or QSE which is at last 51% owned by:	EME	QSE
Black people	√	√
Black people who are youth		
Black people who are women		

Black people with disabilities		
Black people living in rural or underdeveloped areas or townships		
Cooperative owned by black people		
Black people who are military veterans		
OR		
Any EME		
Any QSE		

8. DECLARATION WITH REGARD TO COMPANY/FIRM

8.1 Name _____ of
company/firm:.....

8.2 VAT _____ registration
number:.....

8.3 Company _____ registration
number:.....

8.4 TYPE OF COMPANY/ FIRM

- Partnership/Joint Venture / Consortium
- One person business/sole propriety
- Close corporation
- Company
- (Pty) Limited

[TICK APPLICABLE BOX]

8.5 DESCRIBE PRINCIPAL BUSINESS ACTIVITIES

.....

8.6 COMPANY CLASSIFICATION

- Manufacturer
- Supplier
- Professional service provider
- Other service providers, e.g. transporter, etc.

[TICK APPLICABLE BOX]

8.7 Total number of years the company/firm has been in
business:.....

8.8 I/we, the undersigned, who is / are duly authorised to do so on behalf of the
company/firm, certify that the points claimed, based on the B-BBE status level of
contributor indicated in paragraphs 1.4 and 6.1 of the foregoing certificate, qualifies
the company/ firm for the preference(s) shown and I / we acknowledge that:

- i) The information furnished is true and correct;
- ii) The preference points claimed are in accordance with the General Conditions as
indicated in paragraph 1 of this form;

- iii) In the event of a contract being awarded as a result of points claimed as shown in paragraphs 1.4 and 6.1, the contractor may be required to furnish documentary proof to the satisfaction of the purchaser that the claims are correct;
- iv) If the B-BBEE status level of contributor has been claimed or obtained on a fraudulent basis or any of the conditions of contract have not been fulfilled, the purchaser may, in addition to any other remedy it may have –
 - (a) disqualify the person from the bidding process;
 - (b) recover costs, losses or damages it has incurred or suffered as a result of that person’s conduct;
 - (c) cancel the contract and claim any damages which it has suffered as a result of having to make less favourable arrangements due to such cancellation;
 - (d) recommend that the bidder or contractor, its shareholders and directors, or only the shareholders and directors who acted on a fraudulent basis, be restricted by the National Treasury from obtaining business from any organ of state for a period not exceeding 10 years, after the *audi alteram partem* (hear the other side) rule has been applied; and
 - (e) forward the matter for criminal prosecution.

WITNESSES
1.
2.

.....
SIGNATURE(S) OF BIDDERS(S)
DATE:
ADDRESS
.....
.....

DECLARATION OF BIDDER'S PAST SUPPLY CHAIN MANAGEMENT PRACTICES

- 1 This Standard Bidding Document must form part of all bids invited.
- 2 It serves as a declaration to be used by institutions in ensuring that when goods and services are being procured, all reasonable steps are taken to combat the abuse of the supply chain management system.
- 3 The bid of any bidder may be disregarded if that bidder, or any of its directors have-
 - a. abused the institution's supply chain management system;
 - b. committed fraud or any other improper conduct in relation to such system; or
 - c. failed to perform on any previous contract.
- 4 **In order to give effect to the above, the following questionnaire must be completed and submitted with the bid.**

Item	Question	Yes	No
4.1	<p>Is the bidder or any of its directors listed on the National Treasury's Database of Restricted Suppliers as companies or persons prohibited from doing business with the public sector? (Companies or persons who are listed on this Database were informed in writing of this restriction by the Accounting Officer/Authority of the institution that imposed the restriction after the <i>audi alteram partem</i> rule was applied).</p> <p>The Database of Restricted Suppliers now resides on the National Treasury's website(www.treasury.gov.za) and can be accessed by clicking on its link at the bottom of the home page.</p>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
4.1.1	If so, furnish particulars:		
4.2	<p>Is the bidder or any of its directors listed on the Register for Tender Defaulters in terms of section 29 of the Prevention and Combating of Corrupt Activities Act (No 12 of 2004)? The Register for Tender Defaulters can be accessed on the National Treasury's website (www.treasury.gov.za) by clicking on its link at the bottom of the home page.</p>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
4.2.1	If so, furnish particulars:		
4.3	<p>Was the bidder or any of its directors convicted by a court of law (including a court outside of the Republic of South Africa) for fraud or corruption during the past five years?</p>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
4.3.1	If so, furnish particulars:		

4.4	Was any contract between the bidder and any organ of state terminated during the past five years on account of failure to perform on or comply with the contract?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
4.4.1	If so, furnish particulars:		

SBD 8

CERTIFICATION

**I, THE UNDERSIGNED (FULL NAME).....
CERTIFY THAT THE INFORMATION FURNISHED ON THIS DECLARATION
FORM IS TRUE AND CORRECT.**

**I ACCEPT THAT, IN ADDITION TO CANCELLATION OF A CONTRACT,
ACTION MAY BE TAKEN AGAINST ME SHOULD THIS DECLARATION
PROVE TO BE FALSE.**

.....
Signature

.....
Date

.....
Position

.....
Name of Bidder

Js365bW

CERTIFICATE OF INDEPENDENT BID DETERMINATION

- 1 This Standard Bidding Document (SBD) must form part of all bids¹ invited.
- 2 Section 4 (1) (b) (iii) of the Competition Act No. 89 of 1998, as amended, prohibits an agreement between, or concerted practice by, firms, or a decision by an association of firms, if it is between parties in a horizontal relationship and if it involves collusive bidding (or bid rigging).² Collusive bidding is a *pe se* prohibition meaning that it cannot be justified under any grounds.
- 3 Treasury Regulation 16A9 prescribes that accounting officers and accounting authorities must take all reasonable steps to prevent abuse of the supply chain management system and authorizes accounting officers and accounting authorities to:
 - a. disregard the bid of any bidder if that bidder, or any of its directors have abused the institution's supply chain management system and or committed fraud or any other improper conduct in relation to such system.
 - b. cancel a contract awarded to a supplier of goods and services if the supplier committed any corrupt or fraudulent act during the bidding process or the execution of that contract.
- 4 This SBD serves as a certificate of declaration that would be used by institutions to ensure that, when bids are considered, reasonable steps are taken to prevent any form of bid-rigging.
- 5 In order to give effect to the above, the attached Certificate of Bid Determination (SBD 9) must be completed and submitted with the bid:

¹ Includes price quotations, advertised competitive bids, limited bids and proposals.

² Bid rigging (or collusive bidding) occurs when businesses, that would otherwise be expected to compete, secretly conspire to raise prices or lower the quality of goods and / or services for purchasers who wish to acquire goods and / or services through a bidding process. Bid rigging is, therefore, an agreement between competitors not to compete.

CERTIFICATE OF INDEPENDENT BID DETERMINATION

I, the undersigned, in submitting the accompanying bid:

(Bid Number and Description)

in response to the invitation for the bid made by:

(Name of Institution)

do hereby make the following statements that I certify to be true and complete in every respect:

I certify, on behalf of: _____ that:

(Name of Bidder)

1. I have read and I understand the contents of this Certificate;
2. I understand that the accompanying bid will be disqualified if this Certificate is found not to be true and complete in every respect;
3. I am authorized by the bidder to sign this Certificate, and to submit the accompanying bid, on behalf of the bidder;
4. Each person whose signature appears on the accompanying bid has been authorized by the bidder to determine the terms of, and to sign the bid, on behalf of the bidder;
5. For the purposes of this Certificate and the accompanying bid, I understand that the word "competitor" shall include any individual or organization, other than the bidder, whether or not affiliated with the bidder, who:
 - (a) has been requested to submit a bid in response to this bid invitation;
 - (b) could potentially submit a bid in response to this bid invitation, based on their qualifications, abilities or experience; and
 - (c) provides the same goods and services as the bidder and/or is in the same line of business as the bidder

6. The bidder has arrived at the accompanying bid independently from, and without consultation, communication, agreement or arrangement with any competitor. However communication between partners in a joint venture or consortium³ will not be construed as collusive bidding.
7. In particular, without limiting the generality of paragraphs 6 above, there has been no consultation, communication, agreement or arrangement with any competitor regarding:
 - (a) prices;
 - (b) geographical area where product or service will be rendered (market allocation)
 - (c) methods, factors or formulas used to calculate prices;
 - (d) the intention or decision to submit or not to submit, a bid;
 - (e) the submission of a bid which does not meet the specifications and conditions of the bid; or
 - (f) bidding with the intention not to win the bid.
8. In addition, there have been no consultations, communications, agreements or arrangements with any competitor regarding the quality, quantity, specifications and conditions or delivery particulars of the products or services to which this bid invitation relates.
9. The terms of the accompanying bid have not been, and will not be, disclosed by the bidder, directly or indirectly, to any competitor, prior to the date and time of the official bid opening or of the awarding of the contract.

³ Joint venture or Consortium means an association of persons for the purpose of combining their expertise, property, capital, efforts, skill and knowledge in an activity for the execution of a contract.

10. I am aware that, in addition and without prejudice to any other remedy provided to combat any restrictive practices related to bids and contracts, bids that are suspicious will be reported to the Competition Commission for investigation and possible imposition of administrative penalties in terms of section 59 of the Competition Act No 89 of 1998 and or may be reported to the National Prosecuting Authority (NPA) for criminal investigation and or may be restricted from conducting business with the public sector for a period not exceeding ten (10) years in terms of the Prevention and Combating of Corrupt Activities Act No 12 of 2004 or any other applicable legislation.

.....
Signature

.....
Date

.....
Position

.....
Name of Bidder

Js914w 2